



City of Patterson

1 Plaza
P.O. Box 667
Patterson, California 95363
(209) 895-8030

Building Department
Phone (209) 895-8030
buildingclerk@pattersonca.gov

Residential Patio Cover Permit Requirements

Patio covers are one story, roofed structures not more than 12 feet above grade and used for outdoor recreational purposes. A Building Permit is required for attached and detached/freestanding patio covers and must comply with current CA Building Code(s) and setback requirements as set by Municipal Code. This handout describes what plans are necessary to secure a patio cover permit. To assist you, there is a sample of a site plan, typical construction and connection details, footing/foundation details, and span tables for joists, rafters, and beams. *This sheet is for information and reference only and is not a substitute for accurate drawings for your construction project.*

DRAWINGS SUBMITTAL: Three (3) copies of *complete* set of drawings are required for plan review. Drawings must be submitted along with a completed permit application form. **Drawings must be drawn to scale, dimensioned and of sufficient clarity**, including dimensions of lot existing house, patio cover, storage shed or any other structure(s) on said property, and proposed patio cover. A plan check fee based on the project valuation will be required at time of submitting plans for review. Subsequently, once plans are approved for construction based on minimum code requirements of the 2022 CA Building Code and applicable Municipal Codes, the permit fee based on the project valuation will be required for the issuance of the building permit. Project valuation is material costs and labor costs.

NECESSARY DRAWINGS: Using this checklist will help speed up the review process time by supplying us with the proper information and documents at the time of application.

[] **Site Plan** - (Site plan scale: max 1" = 10'; preferred 1"=20') Shade or hatch in area where patio cover will be constructed. Also show existing house, any other structures and setback dimensions from property lines. Note: The additional square footage of the patio cover, along with existing house lot coverage, shall not exceed overall maximum lot coverage.

[] **Floor Plan** - Show an enlarged floor area drawn to scale (Scale ¼" = 1'), with dimensions and measurements of the new patio cover. Include any additional components to be included in scope of work such as electrical.

[] **Roof Framing Plan** - Show how the new roof ties into structure. (If applicable.) New roof shall not attach to brick or non-masonry veneers. Show attachment/connection details, bolts, etc.

[] **Exterior Elevation** - Show what each side of the patio cover will look like once constructed. Include dimensions and measurements for overall length, heights, and widths.

[] **Construction Details** - Include all framing, spans, spacing and wall sections. Patio cover shall not be anchored or attached to brick or siding (non-masonry veneers).

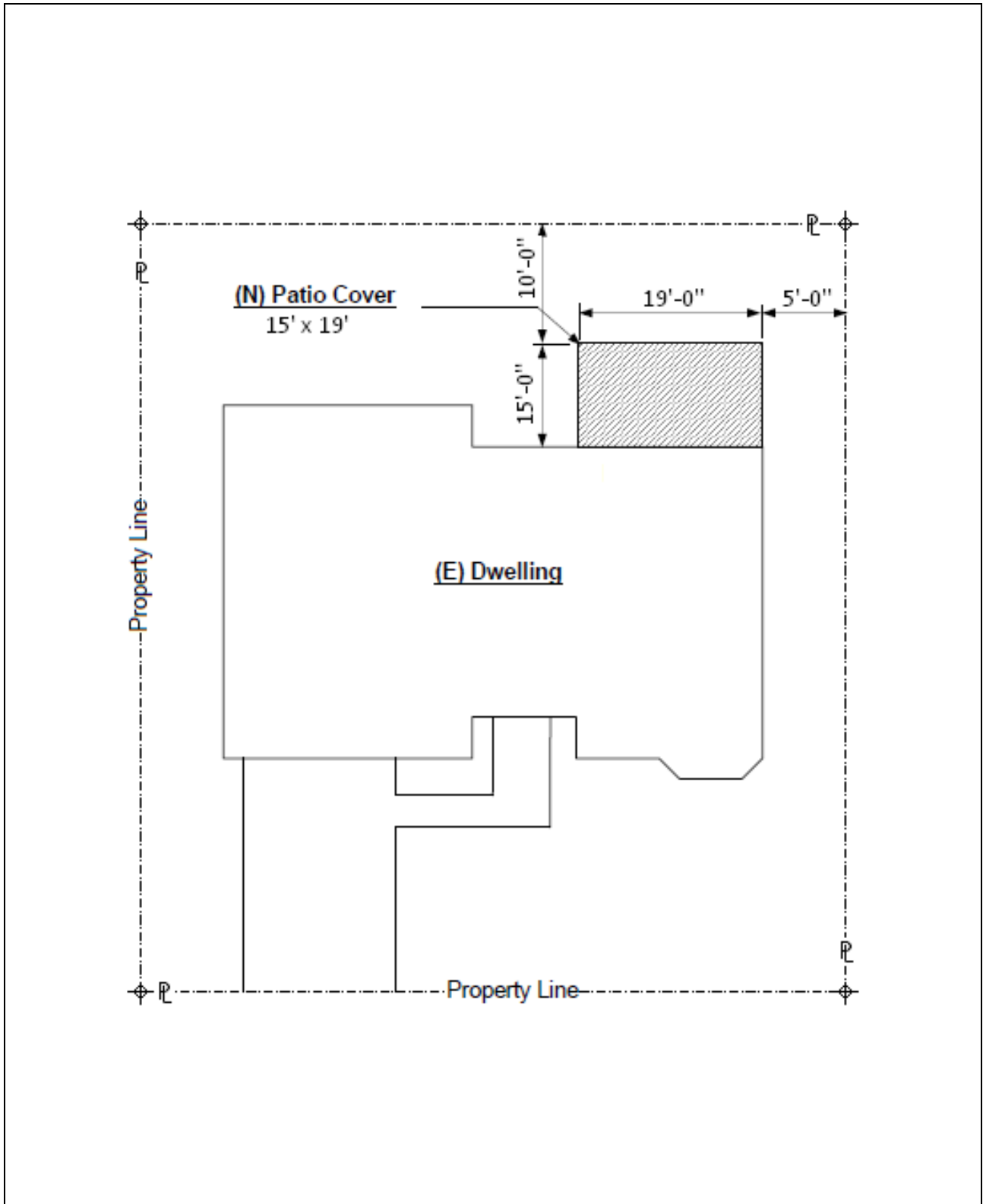
[] **Foundation Plans** - Show how posts or columns supporting patio cover will be anchored to the ground. Show footing depths, foundation slab changes, post bases or anchors, etc... (When applicable).

[] **Electrical Plans** - Show any electrical work to be installed under the patio cover. For example: electrical for ceiling fans and switches or additional outlets. Installation must comply with 2022 CA Electrical Code(s) and lighting must comply with 2022 CA Energy Code(s).

ADDITIONAL NOTES:

1. Construction should not commence prior to having a permit secured for the construction of said structure. **COMENCING PRIOR TO SECURING A PERMIT CAN RESULT IN CODE ENFORCEMENT FINES OR PENALTIES.**
2. Plan review for permit issuance is **5-10 business days**, excluding holidays and weekends. Once plans have been reviewed, you will be contacted to be informed if corrections are needed to plans or they have been approved for the issuance of a permit.
3. Permit holder is responsible for requesting and completing all required inspections.
 - Footings/foundation and setbacks: When footings and or foundation has been excavated but before concrete has been poured, (note: photographs of footings/foundation are **NOT** an acceptable substitute for an inspection of required footings). Inspection will also include verification of setbacks to property lines and any other structures. Property lines must be marked with string lines if necessary.
 - Frame: When all structural framing is completed; to include rough electrical if applicable.
 - Roof nail: If solid roof sheathing is installed over the framing, a roof nailing inspection is required prior to placing the roof covering.
 - Final: When scope of work is complete.
 - Other inspections as deemed necessary by the Building Inspector.
4. Patio cover shall not be erected in any required setbacks:
 - Attached patios:
 - 10 feet to any other building or structure(s) including shed(s) on property.
 - 5 feet to a swimming pool
 - 5 feet to side property line(s)
 - 10 feet to rear property line
 - See the Planning Department for any additional setback requirements.
 - Detached patios:
 - 10 feet to any other building or structure(s) including main dwelling and shed(s) on property
 - 5 feet to a swimming pool
 - 3 feet to side property line(s)
 - 3 feet to rear property line
 - 15 feet to street side property line
 - See the Planning Department for any additional setback requirements.
5. The additional square footage of the patio cover cannot exceed the maximum lot coverage requirements as set forth by the Planning Department.
6. If living in an area where there is a Homeowner's Association, please contact them for any additional requirements from Deed Restrictions and Covenants.

Figure 1 – Typical Site/Plot Plan



PROPERTY OWNER: <i>John & Jane Doe</i>	PLAN: <i>Site Plan</i>	SCALE: <i>1' = 20'-0"</i>
PROPERTY ADDRESS: <i>123 Main Street</i>	DRAWN BY: <i>John Doe</i>	SIGNATURE: <i>John Doe</i>
APN: <i>021-021-000</i>	SCOPE OF WORK: <i>New Attached 15' x 9' Patio</i>	DATE: <i>January 1, 2021</i>

Figure 2 - Typical Attached Patio Cover

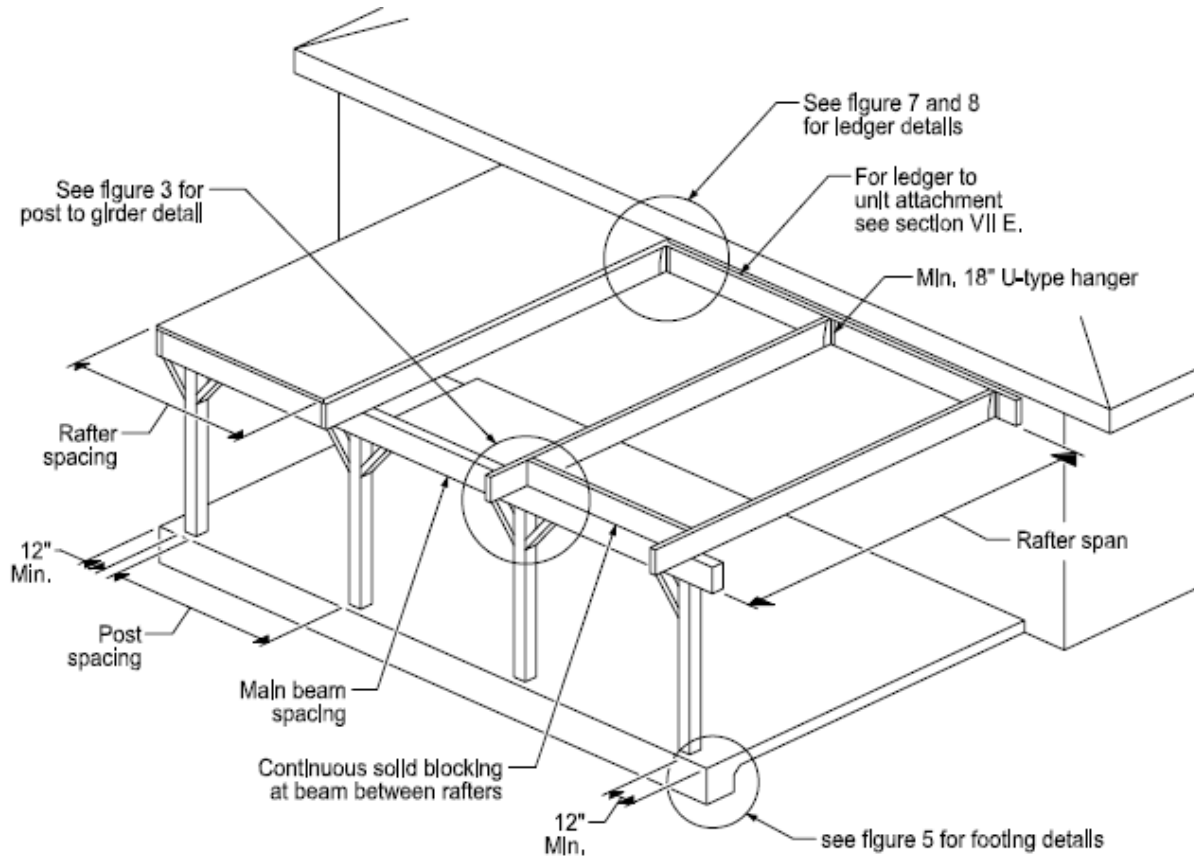


Figure 3 - Post-to-Girder Connection

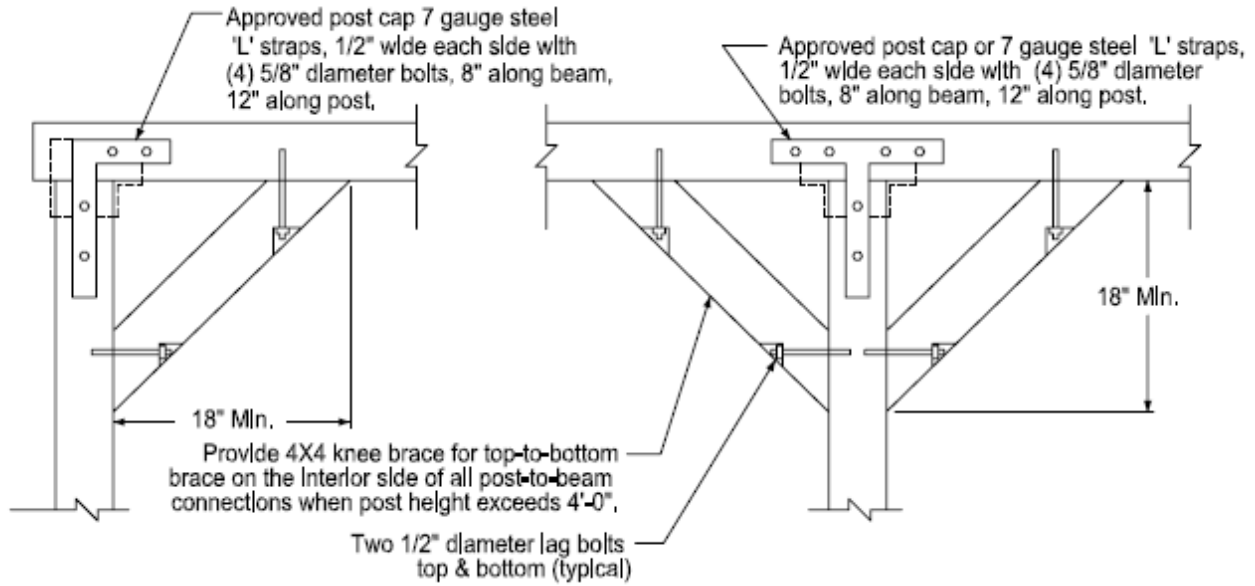


Figure 4a - Section View of Attached Patio

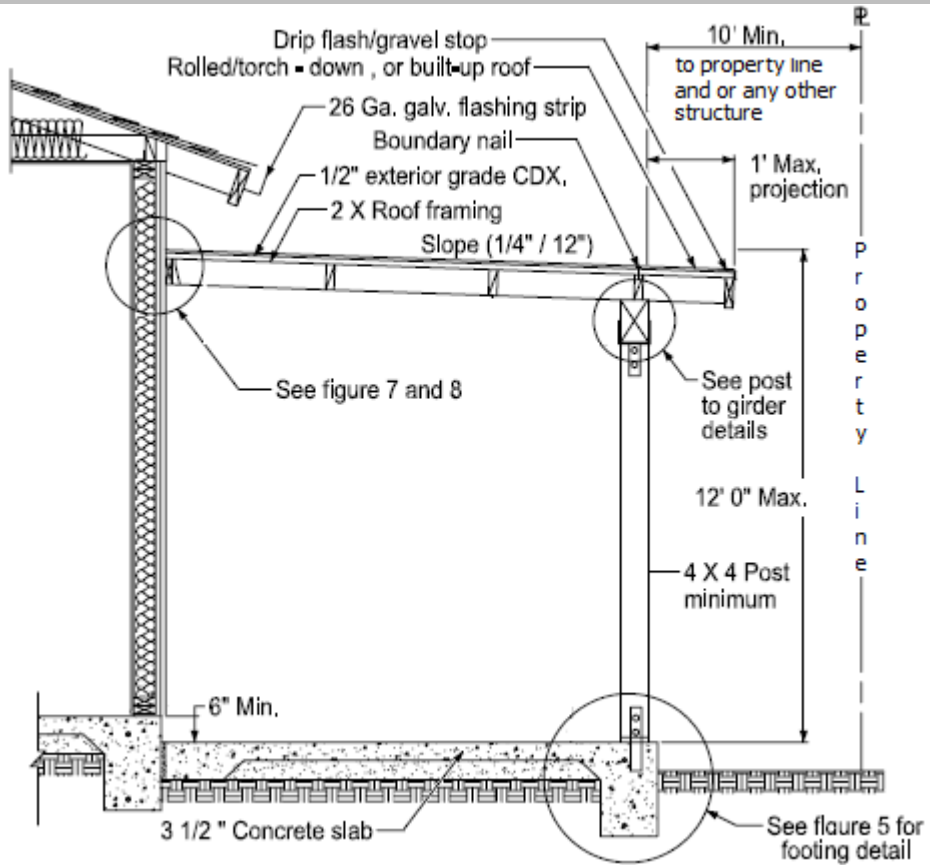


Figure 4b - Section View of Detached Patio

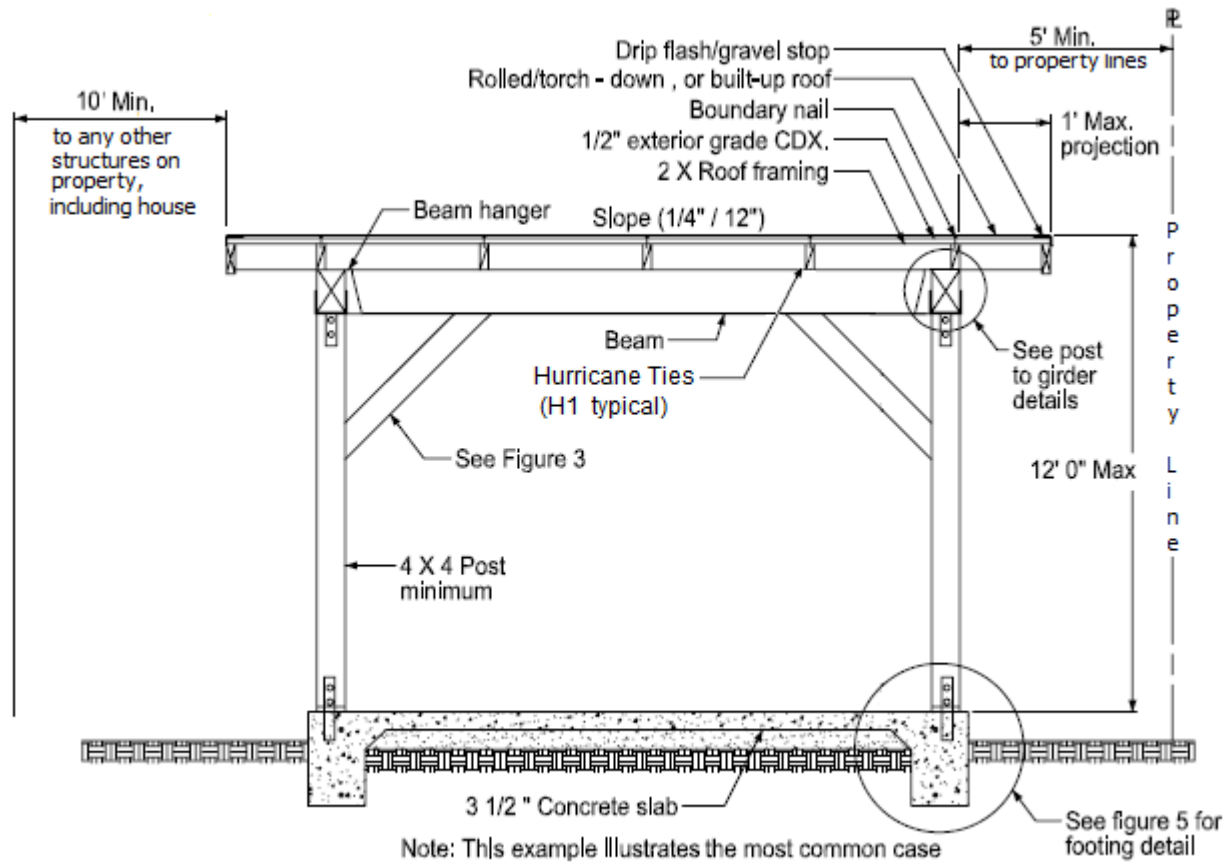


Figure 5 - Typical Footing Details: Pier, Continuous or Slab Footings

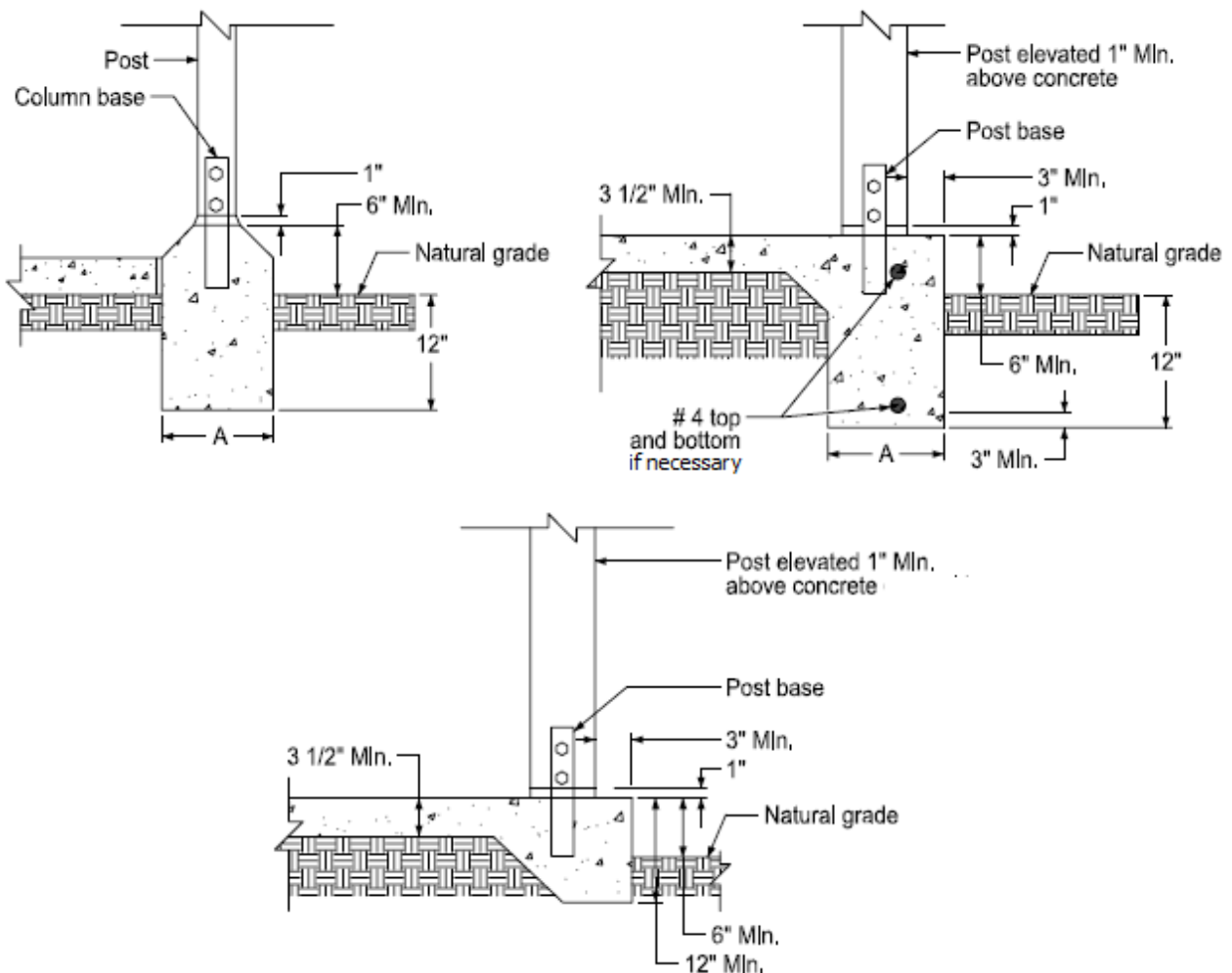


Figure 6 - Roof Details: Solid Roof or Open Trellis

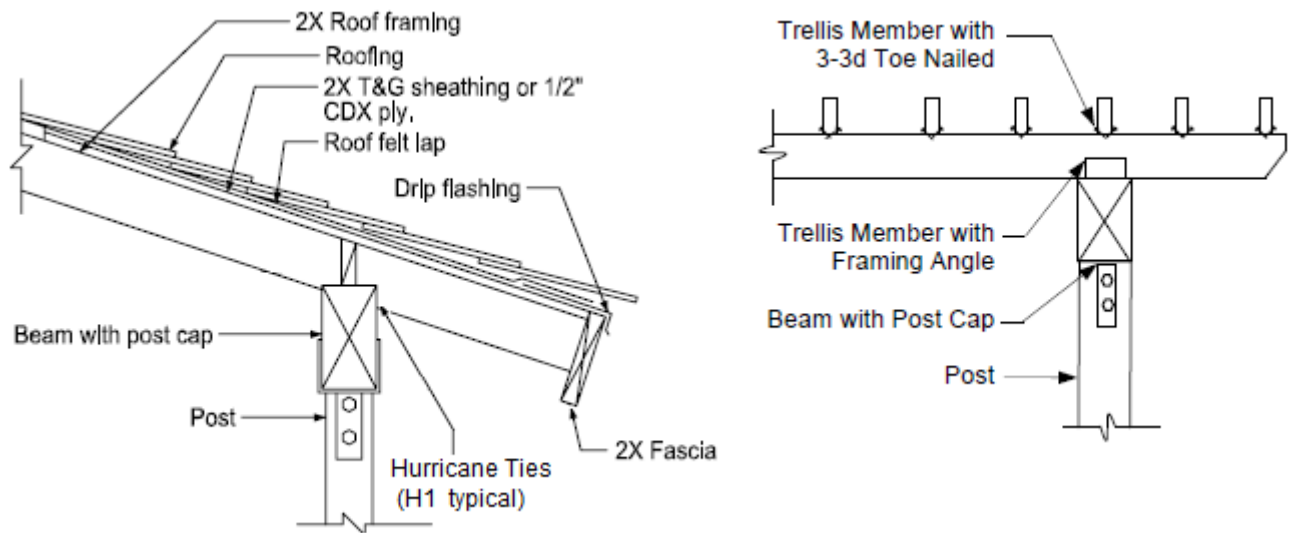
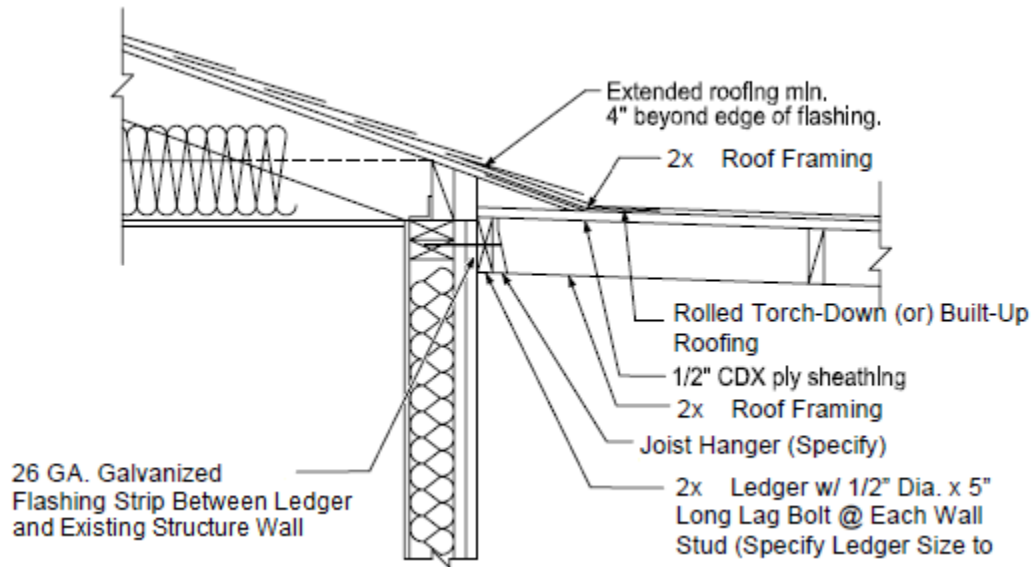


Figure 7 - Typical Rafter Attachment Details



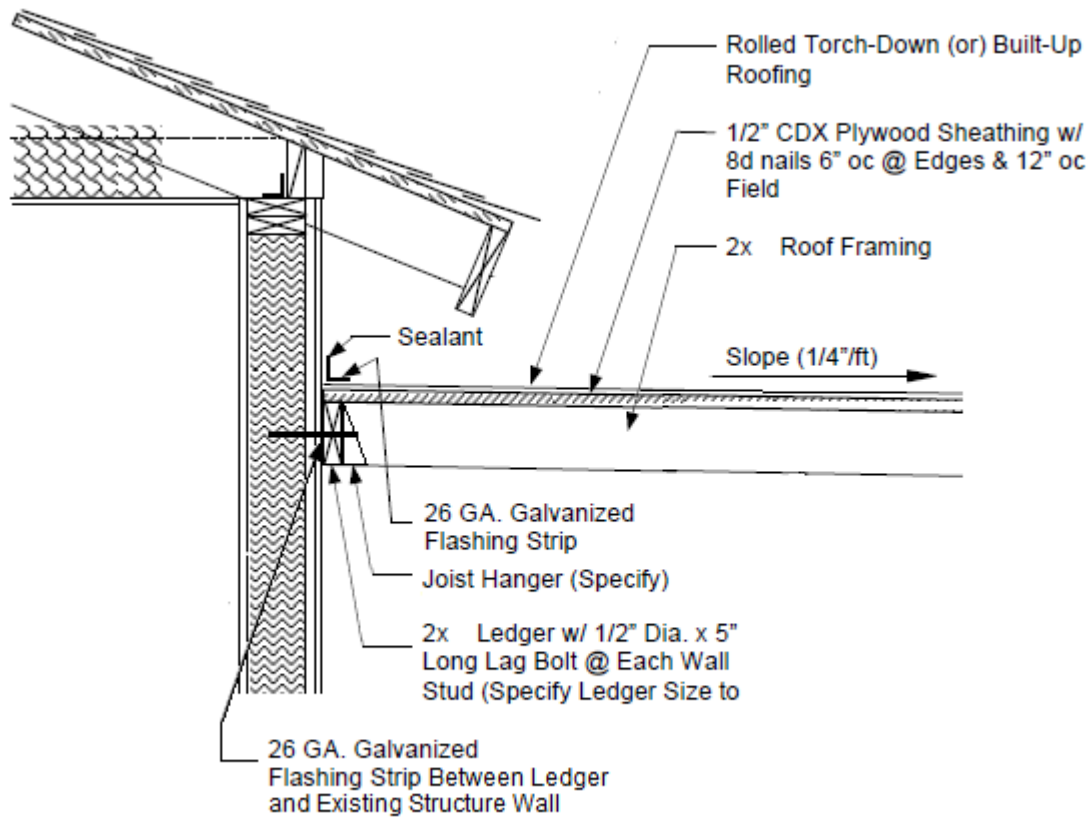
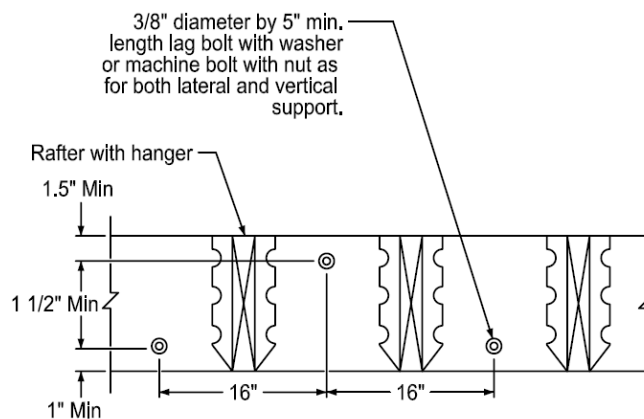


Figure 8 - Typical Ledger Details



Reference Tables

Patio Roof Column Height Table				
Allowable Column Loads				
Grade	Allowable load on post	Width	Depth	Length
	Pounds	Inches	Inches	Feet
RW construction common 4"	1826	4	4	12
RW construction common 4"	2856	4	6	12
RW construction common 6"	9131	6	6	12

Beam Span Table									
For rafter span loading of beam LL + DL per sq. ft. on roof area.									
Douglas Fir #2			Live Load=10 lb/sq ft.				Dead Load=5 lb/sc		
(Half of rafter load on beam)			4X8		4X10		4X12		
Rafter Span	Ft. to Beam	On Beam	Allowable Span		Allowable Span		Allowable Span		
Feet	Feet	lb/ft	Feet	Inches	Feet	Inches	Feet	Inches	
12	6	90	14	1	17	9	21	3	
13	6.5	97.5	13	6	17	10	20	6	
14	7	105	13	1	16	6	19	10	
15	7.5	112.5	12	8	15	11	19	3	
16	8	120	12	4	15	6	18	8	
17	8.5	127.5	11	11	15	0	18	1	
18	9	135	11	8	15	8	17	8	
19	9.5	142.5	11	4	14	3	17	2	
20	10	150	11	0	13	11	16	10	
21	10.5	157.5	10	10	13	8	16	5	
22	11	165	10	6	13	4	16	0	
23	11.5	172.5	10	4	13	0	15	9	
24	12	180	10	1	12	9	15	5	

Note: The values shown do not include the self weight of the beam; the weight of the beam has been considered in the calculation.

Patio Roof Rafter Table									
Douglas Fir-Larch			Roof Rafter L/240 10 LL+5DL				Deflection calculated on LL		
LL=10 Lb/Sq. Ft.			DL=5 Lb/Sq. Ft.				Deflection=L/240		
Grade	Width	Height	Grade	Width	Height	Grade	Width	Height	
DF #2	2X4		DF #2	2X6		DF #2	2X8		
Spacing	Allowable Span		Spacing	Allowable Span		Spacing	Allowable Span		
Inches o.c.	Feet	Inches	Inches o.c.	Feet	Inches	Inches o.c.	Feet	Inches	
12	10	11	12	17	1	12	23	5	
16	9	6	16	14	10	16	20	3	
24	7	9	24	12	2	24	16	6	

ROOFING MATERIAL PER CBC CHAPTER 15 AND ALL APPLICABLE CITY ORDINANCES. ROOFING TYPE _____

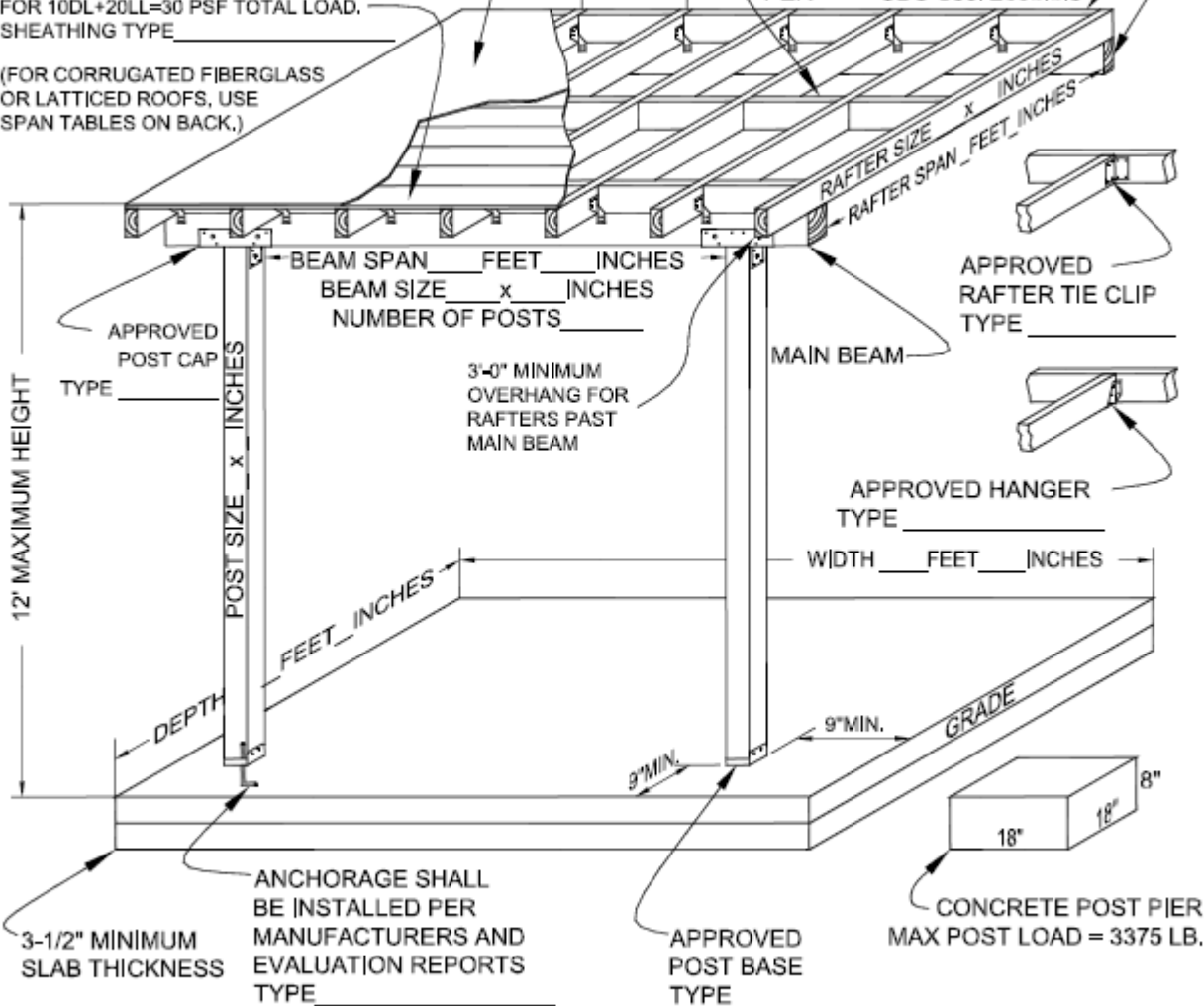
FOR SOLID ROOFS USE CBC SPAN TABLES 2308.10.3(1) FOR 10DL+20LL=30 PSF TOTAL LOAD. SHEATHING TYPE _____

(FOR CORRUGATED FIBERGLASS OR LATTICED ROOFS, USE SPAN TABLES ON BACK.)

RAFTER SPACING _____ INCHES O.C.

MIN. 2x D.F.#2 LEDGER, FASTENED TO WALL STUDS PER 2010 CBC Table 2304.9.1

SOLID BLOCKING PER 2010 CBC Sec. 2308.8.5



- REFER TO 2010 CA BUILDING CODE TABLE 2304.9.1 & 2010 CA RESIDENTIAL CODE TABLE R602.3(1) FOR TYPICAL NAILING REQUIREMENTS.
- REFER TO 2010 CA BUILDING CODE APPENDIX I & 2010 CA RESIDENTIAL CODE APPENDIX H FOR ADDITIONAL PROVISIONS.
- WILL COMPLY WITH:
 - 2010 CA RESIDENTIAL CODE (2010 CRC)
 - 2010 CA BUILDING CODE (2010 CBC)
 - PATTERSON MUNICIPAL CODE TITLE 18 (ZONING CODE)
- IF APPLICABLE, WILL COMPLY WITH:
 - 2010 CA ELECTRICAL CODE (2010 CEC)
 - 2010 CA ENERGY CODE (TITLE 24)
 - 2010 CA MECHANICAL CODE (2010 CMC)
 - 2010 CA PLUMBING CODE (2010 CPC)
 - 2010 CA GREEN CODE STANDARDS (2010 CGCS)
- APPROVAL SUBJECT TO FIELD INSPECTION FOR COMPLIANCE WITH APPLICABLE CODES AND MANUFACTURERS SPECIFICATIONS

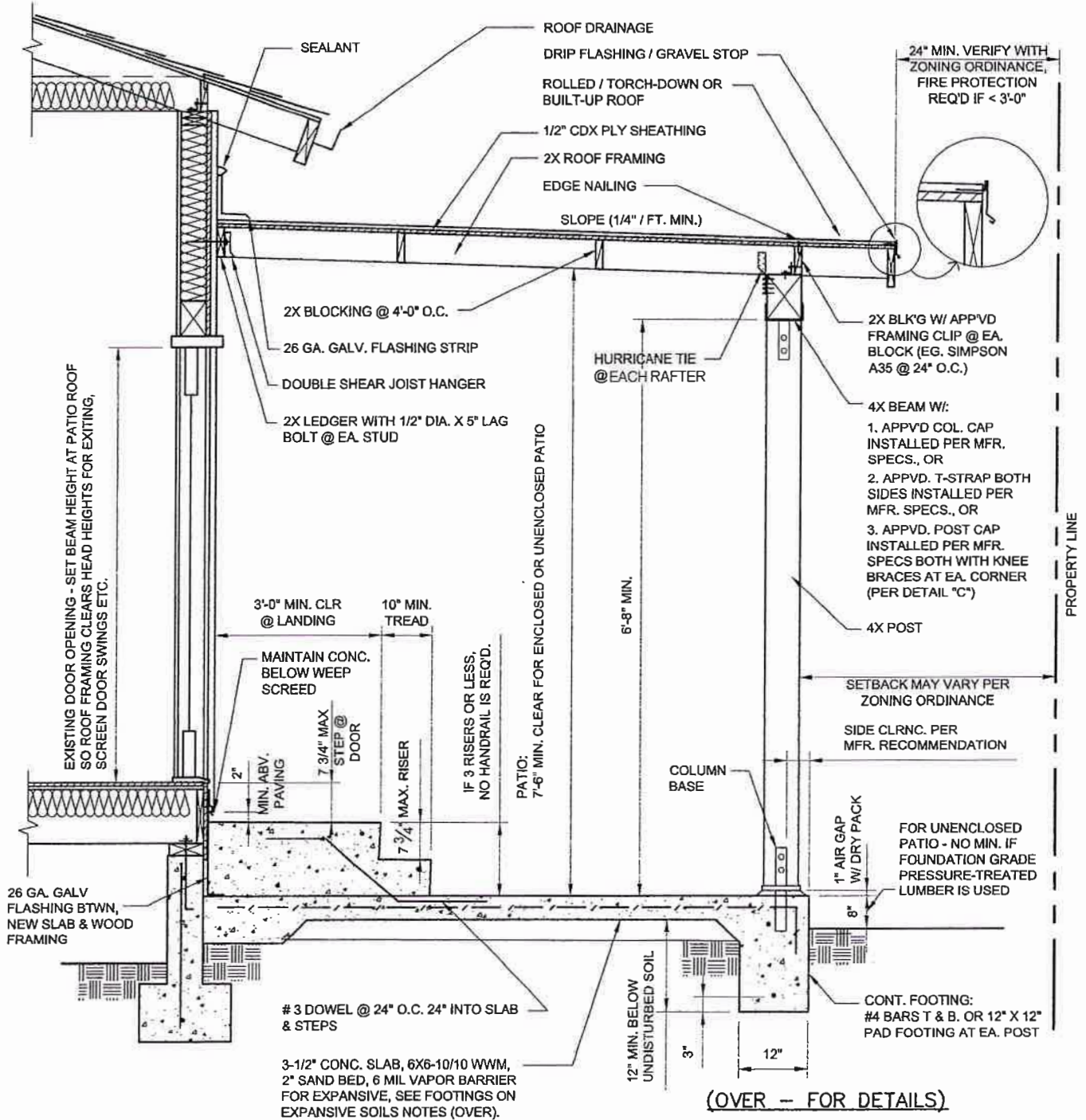
PROPERTY OWNER:	PLAN:	SCALE: N/A
PROPERTY ADDRESS:	DRAWN BY:	SIGNATURE:
APN:	SCOPE OF WORK:	DATE:

Patio Cover Details

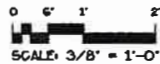
THIS DRAWING DEPICTS MINIMUM CODE REQUIREMENTS PER CRC INFORMATION IS FOR REFERENCE ONLY AND IS NOT A SUBSTITUTE FOR ACCURATE DRAWINGS PREPARED FOR EACH PROPOSED CONSTRUCTION PROJECT.

DEFINITION: CRC Appendix H - Patio Covers:

ONE STORY STRUCTURES NOT EXCEEDING 12 FEET IN HEIGHT. ENCLOSURE WALLS SHALL BE PERMITTED TO BE OF ANY CONFIGURATION, PROVIDED THE OPEN OR GLAZED AREA OF THE LONGER WALL AND ONE ADDITIONAL WALL IS EQUAL TO AT LEAST 65% OF THE AREA BELOW A MINIMUM OF 6'-8" OF EACH WALL, MEASURED FROM THE FLOOR.



Provide consistent Title Block on all sheets. Leave margin on all sides.



This scale is for example only. Use 1/2" or 3/4" = 1'-0". Typical min. sheet size is 11" x 17"

NAME, ADDRESS AND PHONE NO. OF DESIGNER
XXX XXX XXX XXX
XXX XXX XXX XXX

WET SIGNATURE OF DESIGNER ON EACH SHEET
(AND PROFESSIONAL STAMP IF APPLICABLE)

**EXAMPLE
RESIDENCE**

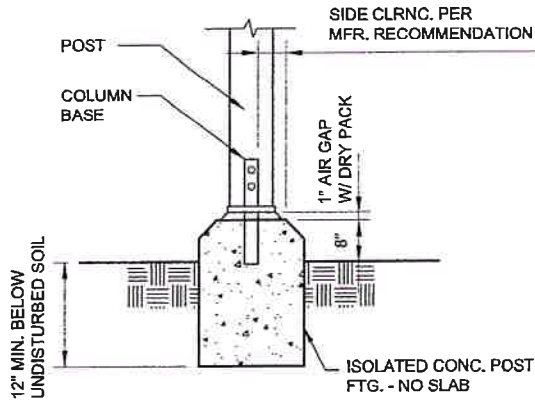
**ATTACHED
PATIO COVER
SAMPLE DRAWING**

SCALE: 3/8" = 1'-0"
DATE:

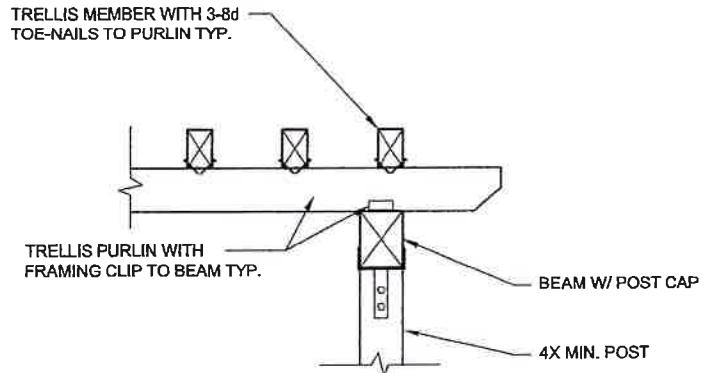
SHEET NO.
PC-1

Patio Covers Details & Notes

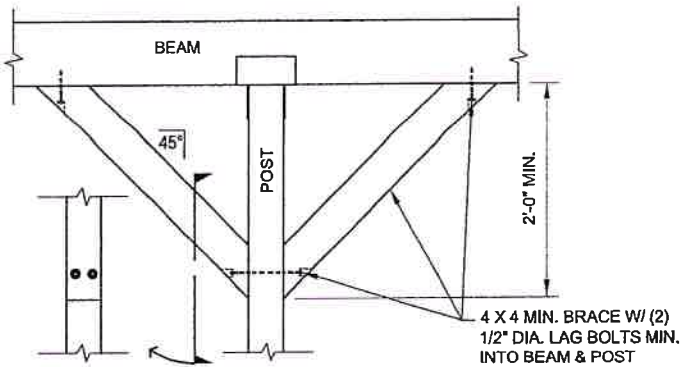
THIS DRAWING DEPICTS MINIMUM CODE REQUIREMENTS PER CRC INFORMATION IS FOR REFERENCE ONLY AND IS NOT A SUBSTITUTE FOR ACCURATE DRAWINGS PREPARED FOR EACH PROPOSED CONSTRUCTION PROJECT.



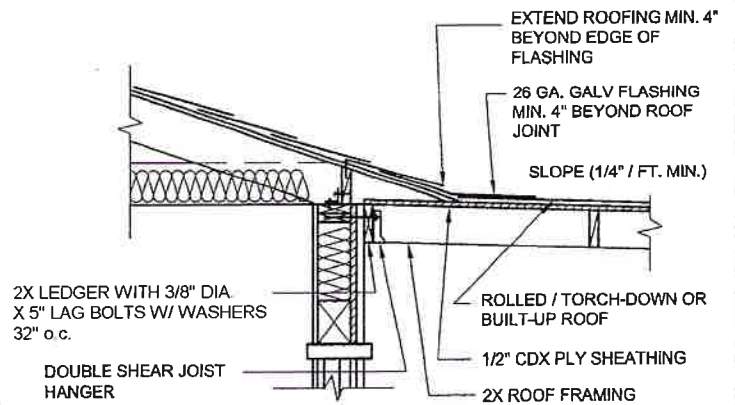
ALT FOOTING DETAIL "A"



TRELLIS DETAIL "B"



KNEE BRACE DETAIL "C"



ALTERNATE CONNECTION DETAIL "D"

SEE SHEET PC-1 FOR BALANCE OF INFO.

NOTE: FOR OTHER GRADES, SPECIES AND SPAN CONDITIONS, SEE FULL SCHEDULES IN CRC Chapter 8

ALLOWABLE JOIST AND RAFTER SPANS

DF/Larch #2 Nominal Size (inches)	Spacing In Inches on center	Ceiling Joist (No stor) LL=10 psf, DL=10 psf L/defl = 240	Rafter LL=20 psf, DL=20 psf L/defl = 240 (recmnd)	Rafter LL=20 psf, DL=10 psf L/defl = 240 (recmnd)
2 x 4	12"	12 - 5	9 - 10	9 - 10
	16"	11 - 3	8 - 6	8 - 11
	24"	9 - 10	6 - 11	7 - 10
2 x 6	12"	19 - 6	14 - 4	15 - 6
	16"	17 - 8	12 - 5	14 - 1
	24"	14 - 0	10 - 2	11 - 9
2 x 8	12"	25 - 8	18 - 2	20 - 5
	16"	23 - 0	15 - 9	18 - 2
	24"	18 - 9	12 - 10	14 - 10
2 x 10	12"	Note a	22 - 3	25 - 8
	16"	Note a	19 - 3	22 - 3
	24"	22 - 11	15 - 8	18 - 2
2 x 12	12"	not in code	25 - 9	Note a
	16"	not in code	22 - 4	25 - 9
	24"	not in code	18 - 3	21 - 0

Note a: Exceeds probable availability (typically 24'-0" to 26'-0" max. length. Check local sources)

**ALLOWABLE BEAM SPANS
(DF # 1 OR BETTER)**

SPAN	BEAM SIZE
UP TO 4'-0"	4 x 4
4'-1" TO 6'-0"	4 x 6
6'-1" TO 8'-0"	4 x 8
8'-1" TO 10'-0"	4 x 10
10'-1" TO 12'-0"	4 x 12

NOTES:

BEAM SIZES ARE BASED ON A MAXIMUM JOIST SPAN OF 20'-0" (10'-0" TRIBUTARY LOAD ON BEAM)

PROVIDE CONNECTION TO 4X MIN. POST PER SHEET PC-1

FOOTINGS ON EXPANSIVE SOILS:

Footing systems on expansive soil shall be constructed in a manner that will minimize damage to the structure from movement of the soil.

- Depth of footings below the natural and finished grades shall not be less than 24" for exterior and 18" for interior footings.
- Exterior walls and interior bearing walls shall be supported on continuous footings.
- Footings shall be reinforced w/ 4- #4 bars. (2- ea. at 4" from top & bottom)
- Concrete floor slabs on grade shall be placed on a 4" fill of coarse aggregate and/or on a moisture barrier membrane. The slabs shall be at least 4" thick and be reinforced with #3 or #4 bars at 16" o.c. each way.
- The soil below an interior concrete slab shall be saturated with moisture to a depth of 18" prior to placing the concrete.

NAME, ADDRESS AND PHONE NO. OF DESIGNER
XXX XXX XXX XXX
XXX XXX XXX XXX

WET SIGNATURE OF DESIGNER ON EACH SHEET
(AND PROFESSIONAL STAMP IF APPLICABLE)

**EXAMPLE
RESIDENCE**

**ATTACHED
PATIO COVER**

SAMPLE DRAWING

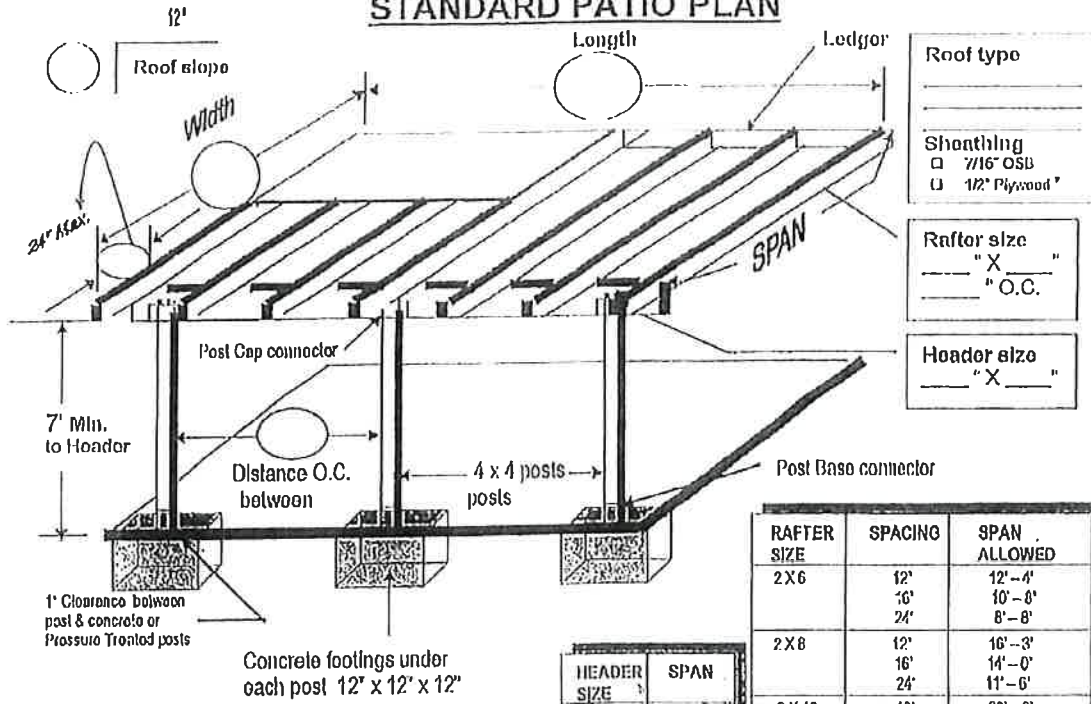
SCALE: N.T.S.

DATE:

SHEET NO.

PC-2

STANDARD PATIO PLAN

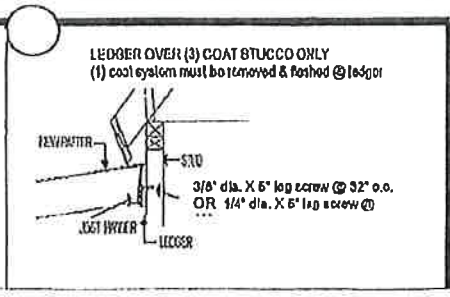
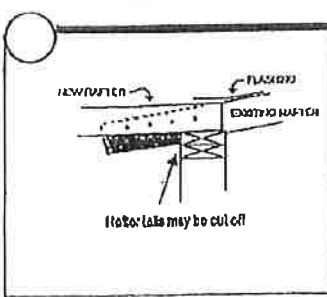


Roof type _____ _____
Sheathing <input type="checkbox"/> 7/16" OSB <input type="checkbox"/> 1/2" Plywood*
Rafter size _____" X _____" _____" O.C.
Header size _____" X _____"

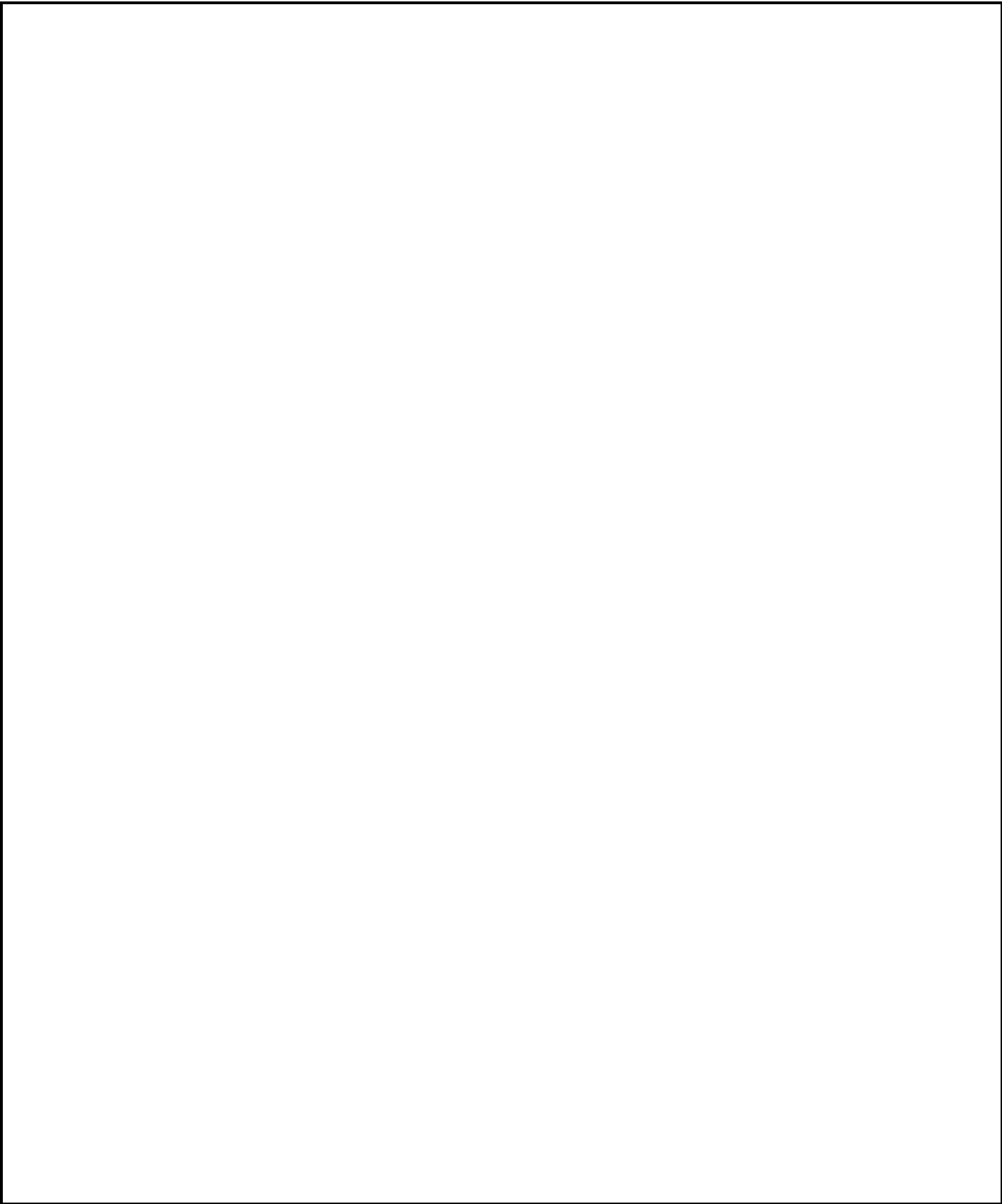
RAFTER SIZE	SPACING	SPAN ALLOWED
2 X 6	12'	12' - 4'
	16'	10' - 0'
	24'	8' - 8"
2 X 8	12'	16' - 3"
	16'	14' - 0"
	24'	11' - 6"
2 X 10	12'	20' - 0"
	16'	17' - 11"
	24'	14' - 8"
2 X 12	12'	26' - 2"
	16'	21' - 0"
	24'	17' - 0"

HEADER SIZE	SPAN
4 X 6	6 FT.
4 X 8	8 FT.
4 X 10	10 FT.
4 X 12	12 FT.

Approved methods of attachments
 Check one



This design not approved to be enclosed.
 * Exposed plywood shall be CCX or better.



PROPERTY OWNER:	PLAN:	SCALE:
PROPERTY ADDRESS:	DRAWN BY:	SIGNATURE:
APN:	SCOPE OF WORK:	DATE:



City of Patterson
 1 PLAZA
 PO Box 667
 Patterson, CA 95363
 (209) 895-8030
 buildingclerk@pattersonca.gov

Office Use Only

Application Date: _____

Customer # _____

PERMIT # _____

WMP to P.W. _____ ESCP to P.W. _____

APPLICATION FOR PATIO COVER PERMIT

Project Valuation: \$ _____

Project Square Footage: _____

Mounting Type: Attached Free Standing **Electrical:** Yes No (if yes, include in description of work)

Description of Work: _____

Address of Work: _____

Is Property in a SFHA (Special Flood Hazard Area)? _____

Property Owner: _____ **APN:** _____

Address: _____ **Phone:** _____

City: _____ **Zip:** _____ **Email:** _____

Primary Contractor: _____ **Phone:** _____

Address: _____ **Contractor Lic #:** _____ **Local Lic#** _____

City: _____ **Zip:** _____ **Email:** _____

Applicant: _____ **Date:** _____

Applicant Address: _____ **Phone:** _____

Project Contact Person: _____ **Phone:** _____

Fax: _____ **Email:** _____
Print Name and Title

PLEASE REVIEW THE FOLLOWING ITEMS PRIOR TO SUBMITTING APPLICATION

1. **Residential Projects:** 3 sets of plans, 2 sets of all supporting documents (i.e. Structural Calcs, Energy Calcs, Truss Calcs, etc.) and an electronic set of the plans and supporting documents (USB or shareable link) are required.
2. **Commercial Projects:** 3 sets of plans, 2 sets of all supporting documents (i.e. Structural Calcs, Energy Calcs, Truss Calcs, etc.) and an electronic set of the plans and supporting documents (USB or shareable link) are required.
3. A plan check fee may be required with this application.
4. This application, in which no permit is issued, will expire in 6 months from today's (submittal) date.
5. If this building is intended to be licensed by Department of Health Services (i.e. OSHPD3) you are required to submit concurrently to OSHPD for their review and approval.
6. No inspection will be performed prior to issuance of the Building Permit.

APPLICANT SIGNATURE

DATE

LICENSED CONTRACTOR DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code and that my contractor's license is in full force and effect and that all of the information provided by me regarding this is true and correct. I also affirm under penalty of perjury that my Worker's Compensation Declaration or Certificate of Exemption from Worker's Compensation Insurance and lend agency information are true and correct.

Signed _____ Dated _____

Print Name of Signer _____

License# _____ License Class _____

WORKER'S COMPENSATION DECLARATIONS

I hereby affirm that I have a certificate of self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3000, Lab. C).

Policy# _____ Company _____

Certified copy is hereby furnished

Certified copy is filed with the building inspection department of the City of Patterson

Applicant Signature _____ Dated _____

OWNER- BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from provisions of the Contractor's License Law (Chapter 9 of Division 3 of the Business and Profession Code) because: (check applicable statement)

- A. I am the owner of the above property and I will contract to have all of the work performed by licensed contractors.
- B. I am the owner of the property and the work will be partially accomplished in accordance with Statement "A" and the other work will be accomplished in accordance with Statement "C".
- C. I am the owner of the above property and I will perform all the above work personally or through my employees whose sole compensation will be wages, and the above described structure is not intended or offered for sale.

Applicant Signature _____ Dated _____

Print Name of Signer _____

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of California.

Applicant Signature _____ Dated _____

NOTICE TO APPLICANT: If after making this Certificate of Exemption you should become subject to the Worker's Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Cir. C).

Lender's Name _____

Lender's Address _____

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL CITY AND COUNTY ORDINANCES AND STATE LAWS RELATING TO BUILDING CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER THE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

Applicant or Agent Signature _____ Date: _____